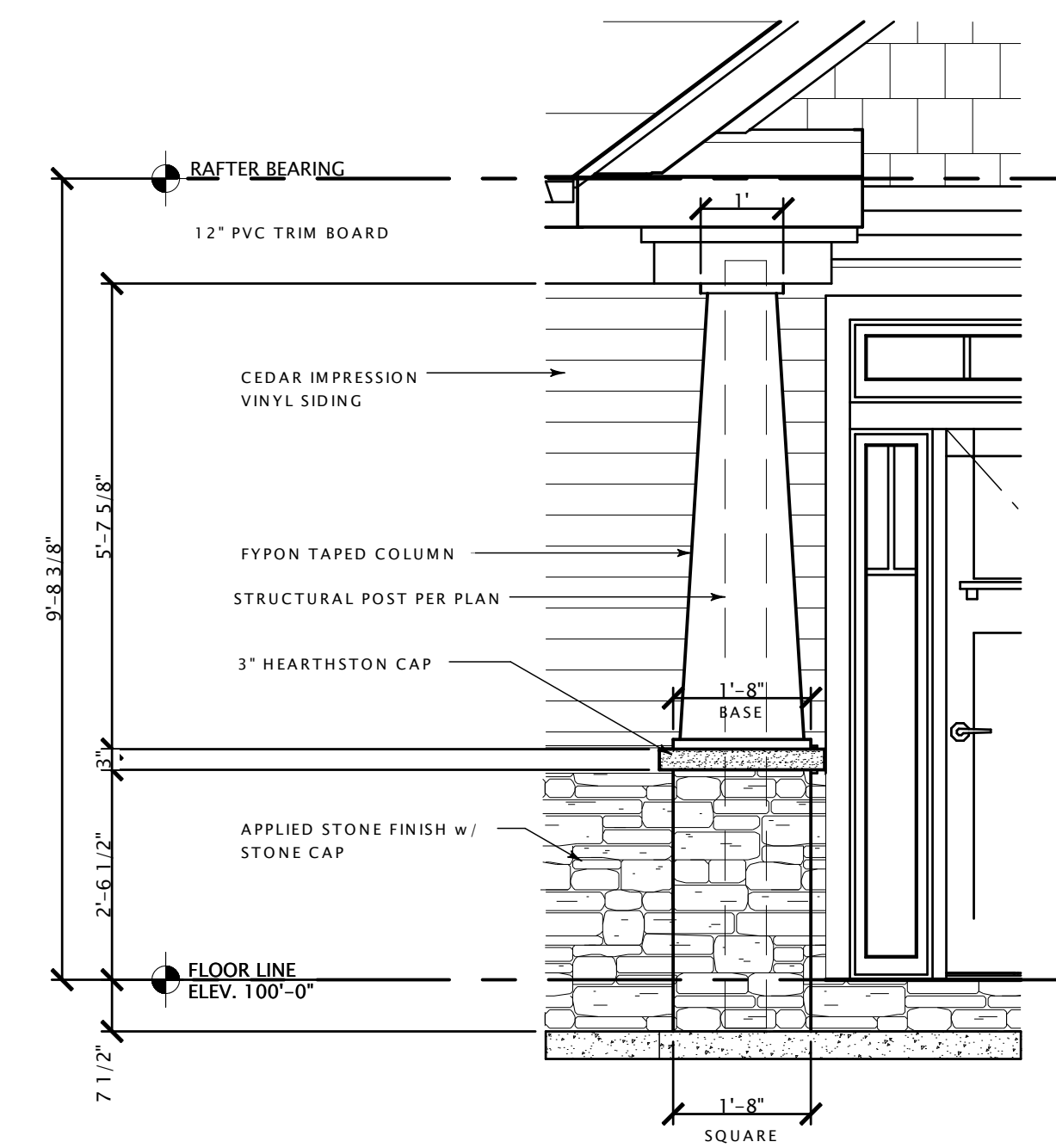


Designing
 Planning
 Remodeling



FRONT ELEVATION
 1/4" = 1'-0"



FRONT PORCH DETAIL
 1/2" = 1'-0"



RIGHT ELEVATION
 1/4" = 1'-0"

PROJECT TITLE:

**New Residence
 for Steve & Lisa
 Potter**

GENERAL CONTRACTOR:

REVISION:

03.04.16 FOR PRICING AND PERTIMS

DESIGNER: AJC

APPROVED:

AD JOB NO. 0202-15

SHEET NO.

A2.0

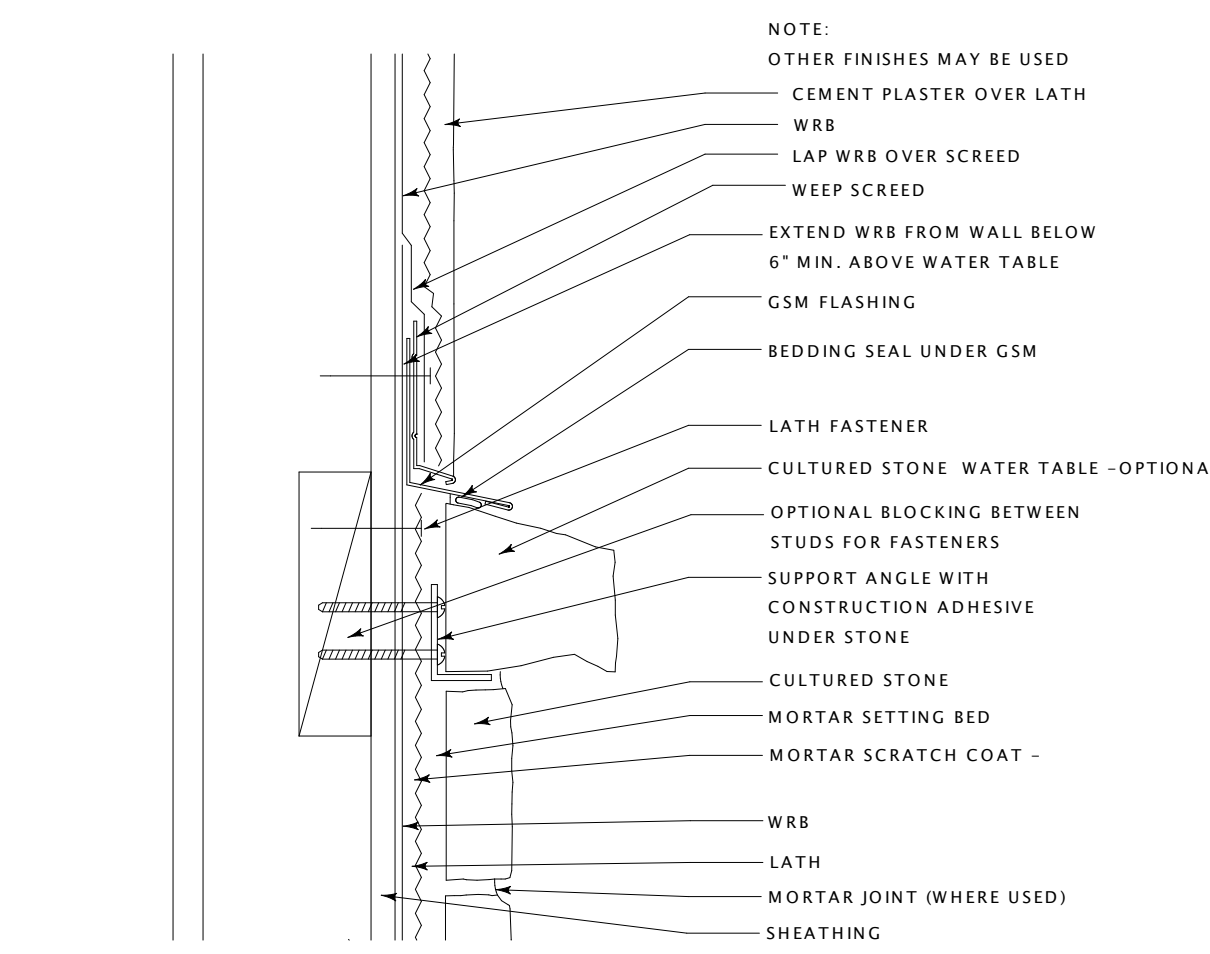
GENERAL NOTES

1. THESE PLANS WERE DRAFTED AND DESIGNED BY AARON J. CHRISTY TO SATISFY MOST LOCAL BUILDING CODES IN THE NORTHWEST OHIO & LOWER MICHIGAN AREAS AT THE TIME THEY WERE DRAWN. IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. HOWEVER, BECAUSE OF BUILDING CODES CAN CHANGE AND/OR CODE INTERPRETATION CAN VARY FROM JURISDICTION TO JURISDICTION, AARON J. CHRISTY DOES NOT GUARANTEE THE STRUCTURAL INTEGRITY OR BUILDING CODE COMPLIANCE OF ANY OF THE PARTICULARS OF THESE PLANS. IT IS, THEREFORE, STRONGLY RECOMMENDED THAT BEFORE ANY CONSTRUCTION COMMENCES OR CONTRACTUAL COMMITMENTS ARE MADE THAT THESE PLANS BE REVIEWED BY A STRUCTURAL ENGINEER FOR STRUCTURAL INTEGRITY, AS WELL AS FOR BUILDING CODE COMPLIANCE WITH ANY AND ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ABIDE BY ALL LAWS, CODES, ORDINANCES, ZONING AND ANY AND ALL GOVERNING REGULATIONS WITH RESPECT TO THIS PROJECT WHETHER SHOWN HERE IN OR NOT.
3. IF THESE PLANS ARE FOR AN ADDITION AND/OR RENOVATION TO AN EXISTING STRUCTURE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC. AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR(S) TO MODIFY ALL EXISTING CONSTRUCTION AS MAY BE REQUIRED TO ADAPT TO ANY NEW CONSTRUCTION.
4. THE PURCHASER OF THESE PLANS RELEASES AARON J. CHRISTY, FROM ANY CLAIMS OR LAWSUITS THAT MAY ARISE BEFORE OR DURING THE CONSTRUCTION OF THE STRUCTURE(S) DEPICTED IN THESE PLANS OR ANY TIME THEREAFTER.
5. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
6. ALL EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE OF 1/2" RIGID INSULATION. ALL INTERIOR WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.
7. THE CONTRACTOR(S) SHALL CHECK AND VERIFY DIMENSIONS, ETC. AT SITE BEFORE CONSTRUCTION AND/OR ORDERING MATERIAL. NOTIFY DESIGNER OF ANY DISCREPANCIES FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
8. CONTRACTOR(S) SHALL INSURE COMPATIBILITY OF BUILDING WITH ALL SITE REQUIREMENTS AND VERIFY ALL UTILITY, STORM LINES ETC. FOR INTERFERENCE WITH EXCAVATION.
9. ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND PER LOCAL CODES AND REQUIREMENTS.
10. ALL SECOND STORY WALLS ARE 8'-0" HIGH UNLESS OTHERWISE NOTED OR IMPLIED.
11. CONFIRM WINDOW OPENINGS FOR LOCAL EGRESS REQUIREMENTS AND MINIMUM LIGHT & VENTILATION REQUIREMENTS.
12. IF NO PARTICULAR WINDOW MANUFACTURER'S CATALOG NUMBERS HAVE BEEN NOTED (IE: "GENERAL SIZE WINDOWS"), THEN WINDOW SIZES SHOWN ARE NORMAL. IN THE CASE, EXACT SIZES SHALL BE DETERMINED BY CHOSEN MANUFACTURER'S CATALOG.
13. ALL ANGLED WALLS ON FLOOR PLANS ARE AT A 45 DEGREE ANGLE UNLESS OTHERWISE NOTED.
14. INSTALL EXHAUST FANS IN ALL BATHROOMS AND WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOM PER 2013 RESIDENTIAL CODE OF OHIO; BUILDING CODE-SECTION R303.3 OR APPLICABLE LOCAL BUILDING CODE.
15. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER 2013 RESIDENTIAL CODE OF OHIO; -SECTION R308 OR APPLICABLE LOCAL BUILDING CODE.
16. INSTALL GUARDRAILS AND STAIR HANDRAIL PER 2013 RESIDENTIAL CODE OF OHIO; -SECTIONS R312 AND R311.7.7.1 OR APPLICABLE LOCAL BUILDING CODE.
17. INSTALL SMOKE ALARMS PER 2013 RESIDENTIAL CODE OF OHIO -SECTION R314.2 AND R314.3 OR APPLICABLE LOCAL BUILDING CODE.
18. INSTALL CARBON MONOXIDE ALARMS PER 2013 RESIDENTIAL CODE OF OHIO -SECTION R315 OR APPLICABLE LOCAL BUILDING CODE.
18. COMPLETELY SEPARATE GARAGE BENEATH FROM LIVING SPACE (HABITABLE) WITH MINIMUM 5/8" TYPE-X GYP. BOARD AND ATTIC AREA (UNINHABITABLE) SPACE WITH MINIMUM 1/2" GYP. BOARD - SECTION R302.6 PER 2013 RESIDENTIAL CODE OF OHIO OR LOCAL APPLICABLE BUILDING CODE.
19. INSTALL 1/2" GYP. BD. ON ALL INTERIOR WALLS & CEILINGS. INSTALL 5/8" GYP. BD. AT ALL CEILINGS WHICH HAVE FRAMING AT 24" ON CENTER.
20. PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM - SECTION R302.4.1.2 AND R302 PER 2013 RESIDENTIAL CODE OF OHIO
21. PROVIDE ATTIC ACCESS WITH MINIMUM OF 22"x30" FRAMED OPENING. -SECTION R807 PER 2013 RESIDENTIAL CODE OF OHIO
22. PREFABRICATED FIREPLACE & FLUES ARE TO BE U.L.127 APPROVED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS. -SECTION R1004 PER 2013 RESIDENTIAL CODE OF OHIO
23. BRICK SILL TO HAVE FLASHING UNDER SILL AND UP UNDER SIDING. BRICK VENEER TO BE TIED TO STUD WALL WITH GALVANIZED BRICK TIES AND SHALL BE SPACED NOT MORE THAN 24" O.C. HORIZ. AND VERT. -SECTION R703.7 AND WEEPHOLES INSTALLED AT 33 O.C. -SECTION R703.7.6 PROVIDE BRICK LEDGE IN FOUNDATION
24. BUILD UP ROOF SADDLES TO CREATE POSITIVE ROOF DRAINAGE.
25. PROVIDE 1 SQUARE FOOT OF FREE VENTILATING AREA FROM GRAVITY ROOF VENT FOR EVERY 150 SQUARE FEET OF ROOF. -SECTION R806.2 PER 2013 RESIDENTIAL CODE OF OHIO
26. ADJUST OVERHANGS TO MAINTAIN CONSISTENT LEVEL WHEN PLANS CALL FOR TWO DIFFERENT PITCHES AT A HIP.
27. ALL MATERIAL, HARDWARE, APPLIANCES, CABINETS, INTERIOR FINISHES, COLOR ETC. SHALL BE APPROVED BY OWNER AND/OR BUILDER PRIOR TO INSTALLATION.



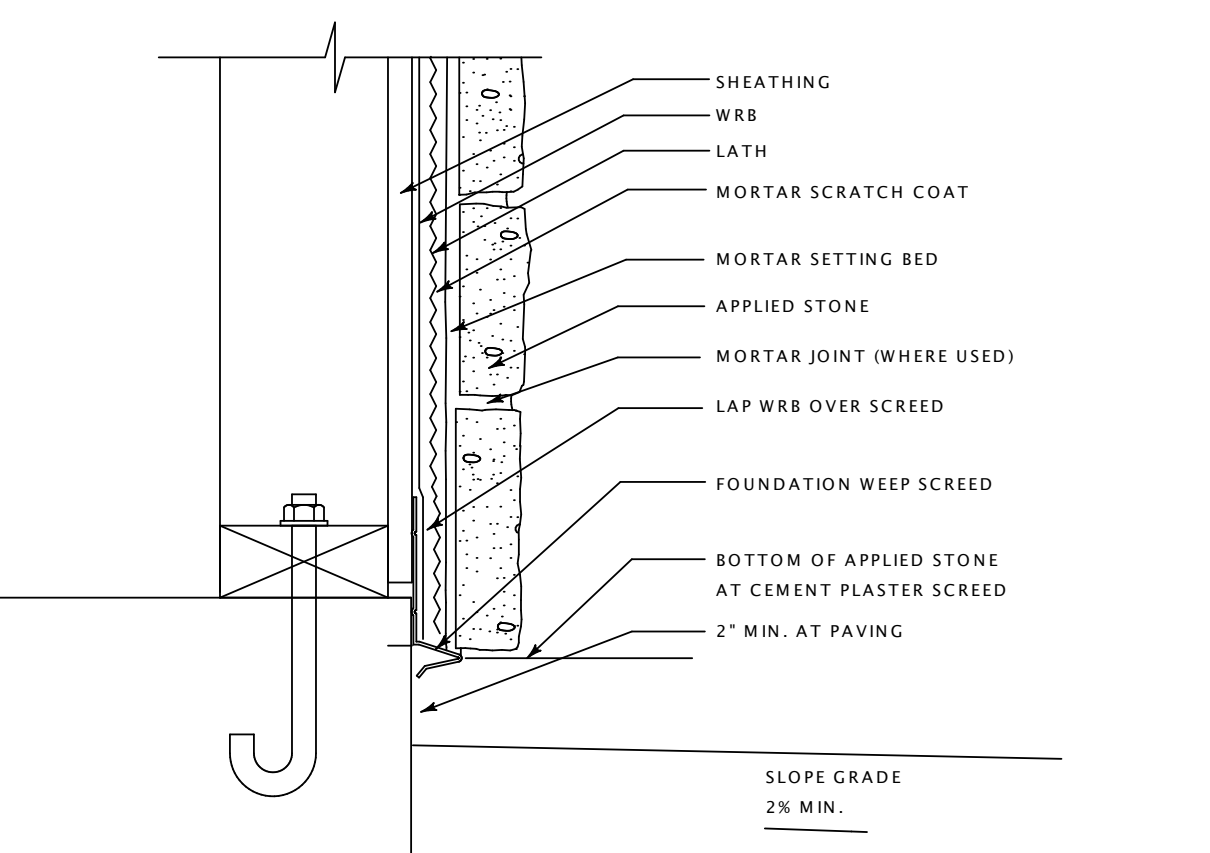
LEFT ELEVATION

1/4" = 1'-0"



WAINSCOT STONE DETAIL

3" = 1'-0"



STONE DETAIL AT FOUNDATION

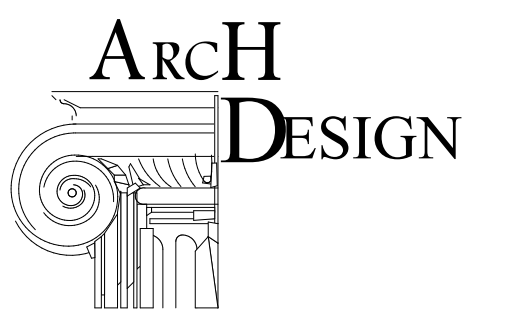
3" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

1080 Farnsworth Rd.
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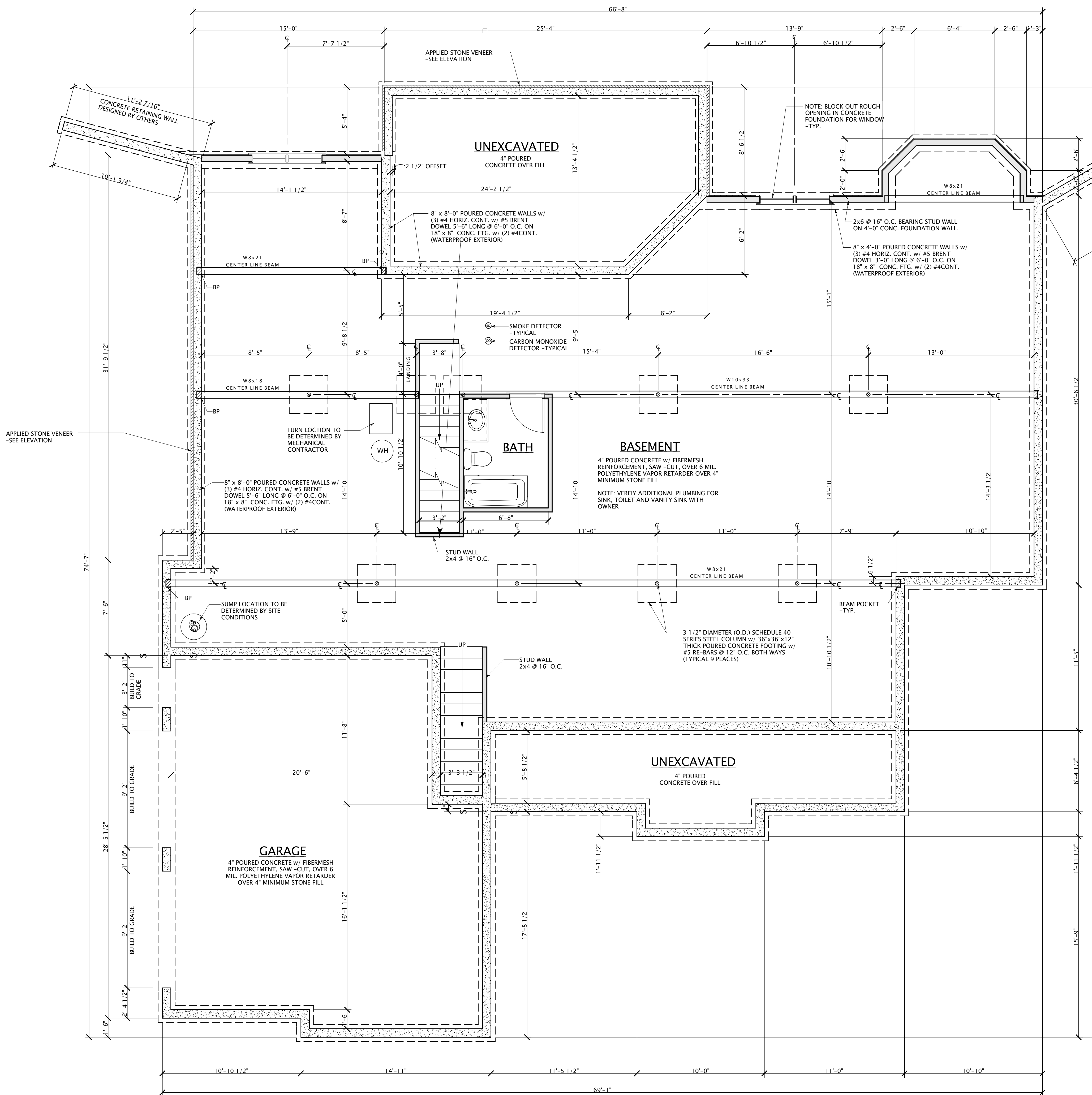
DESIGNER: AJC

APPROVED:

AD JOB NO. 0202-15

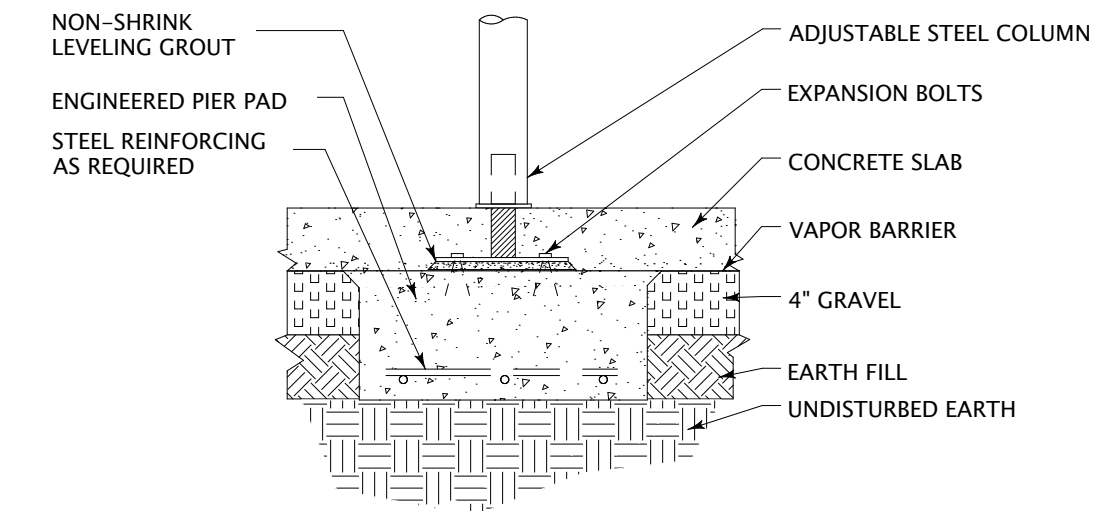
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FOUNDATION NOTES:

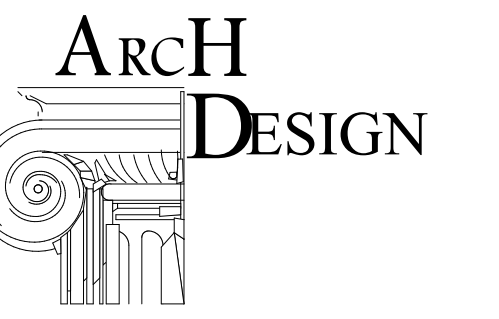
- I. FOOTING
 - A. ALL FOOTING SIZES ARE BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2000 POUNDS PER SQUARE FOOT.
 - B. EXCAVATION: BOTTOM OF FOOTING SHALL BE EXCAVATED TO DEPTH OF 2" BELOW UNDISTURBED SOIL AND 6" BELOW THE DEPTH OF FROST PENETRATION.
- C. REINFORCEMENT:
 1. HORIZONTAL - FOOTINGS SHOULD CONTINUOUS HORIZONTAL REINFORCEMENT WHEN UNSTABLE OR SOIL CONDITIONED ARE ENCOUNTERED (ALLOWABLE SOIL PRESSURE BELOW 2000 P.S.F.).
 2. VERTICAL - PROVIDE VERTICAL DOWELS AS SHOWN ON DRAWINGS. DOWELS TO BE TIED TO KEYWAY STRIP FOR SUPPORT.
- D. FORMING:
 1. EARTH FORMS ACCEPTABLE WHEN COHESIVE SOILS SUCH AS CLAY ARE ENCOUNTERED.
 2. WOOD FORMS SHOULD BE USED WHEN NON-COHESIVE SUCH AS SAND ARE ENCOUNTERED.
- III. JOINTS & REINFORCEMENT
 - A. JOINTS
 1. VERTICAL CONTRACTION JOINTS: TO BE PROVIDED WHEN THE STRAIGHT LENGTH OF WALL (BETWEEN CORNERS) EXCEEDS 3 TIMES THE WALL HEIGHT. HORIZONTAL WALL REINFORCEMENT SHOULD CONTINUE ACROSS THE JOINTS.
 2. VERTICAL CONSTRUCTION JOINTS: REQUIRED WHERE ONE DAY'S PLACEMENT ENDS.
 3. COLD JOINTS: SHOULD BE PREVENTED WITH TIMELY DELIVERIES OF CONCRETE AND/OR WITH A VIBRATOR.
 4. WATER STOPS: MAY BE REQUIRED WHERE GROUND WATER CONDITIONS DICTATE.
 - B. REINFORCEMENT
 1. MATERIAL: REINFORCEMENT STEEL SHALL CONFORM TO A.S.T.M. A615 GRADE 60
 2. FABRICATION & PLACEMENT: CONFORM TO CRSI SPECIFICATIONS FOR PLACING OF REINFORCEMENT
 3. MINIMUM COVER
 - A. FOOTINGS EXPOSED TO EARTH - 3"
 - B. WALLS EXPOSED TO EARTH - 1 1/2" (#5 BARS OR SMALLER)
 - C. WALLS INTERIOR FACE - 3/4"
- IV. PLACEMENT OF CONCRETE
 - A. CONSOLIDATION: CONSOLIDATION OF CONCRETE SHALL BE ACHIEVED WITH THE USE OF INTERNAL VIBRATORS.
 - B. ADDITION OF WATER: THE ADDITION OF WATER AT THE JOB SITE IS PERMITTED PROVIDING ONLY SUFFICIENT WATER IS USED TO PROVIDE A WORKABLE MIX AND THE DESIGN WATER CEMENT RATIO AND/OR THE MAXIMUM SLUMP ARE NOT EXCEEDED.
- V. MOISTURE CONTROL
 - A. WATERPROOFING: APPROVED WATERPROOFING RETARDER CONTINUOUS FROM THE EDGE OF FOOTING TO THE FINISH GRADE LINE SHALL BE PROVIDED AS FOLLOWS:
 1. WHERE SOIL CONDITIONS INDICATE THAT THE WALLS COULD BE SUBJECT TO WATER PRESSURE.
 2. FOUNDATION WALLS OF HABITABLE ROOMS LOCATED BELOW GRADE SHALL BE WATERPROOFED AS PER O.B.A.-SECTION 406.2 OR APPLICABLE LOCAL BUILDING CODE.
 - B. DAMPROOFING: EXTERIOR FOUNDATION WALLS ENCLOSING BASEMENTS SHALL BE DAMPROOFED BY APPLYING AN APPROVED BITUMINOUS MATERIAL TO THE WALL FROM THE FOOTING TO THE FINISHED GRADE.
 - C. FOUNDATION DRAINAGE: PROVIDE PERFORATED PVC PIPE AT OR BELOW THE BASEMENT FLOOR. BEDDING OR FILL TO CONSIST OF WASHER GRAVEL OR CRUSHED ROCK. MINIMUM BEDDING REQUIRED: 2". MINIMUM COVER REQUIRED: 6"
- VI. BACKFILLING
 - A. BACKFILLING SHOULD NOT BE DONE UNTIL FIRST FLOOR FRAMING IS IN PLACE OR SHORING OF THE WALL IS PROVIDED.
 - B. BACKFILLING SHOULD BE PLACED IN LIFTS FROM 8" TO 15" IN DEPTH.
 - C. COMPACTION BY USE OF FLOODING OR ANY OTHER KIND OF WATER INFILTRATION WILL NOT BE PERMITTED.
 - D. CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO WATERPROOFING AND DRAINAGE SYSTEMS.
 - E. BACKFILL MATERIAL MUST HAVE SUFFICIENT INHERENT PERMEABILITY TO INSURE ADEQUATE DRAINAGE OF RAIN WATER BEHIND THE WALLS.
 - F. BACKFILL MATERIAL SHOULD NOT BE PLACED ON FROZEN GROUND NOR SHOULD IT CONTAIN ANY FROZEN MATERIAL.
 - G. THE PREFERRED MATERIAL FOR USE AS BACKFILL WILL BE GRANULAR SOILS SUCH AS SAND, GRAVEL AND CRUSHED STONE.
 - H. FINAL GRADING OF SITE SHOULD SLOPE AWAY FROM BUILDING AT NO LESS THAN ONE QUARTER OF AN INCH PER FOOT.
 - I. HEIGHT OF BACKFILL:
 1. MIN. OF 6" BELOW TOP OF FOUNDATION WALL
 2. MIN. OF 4" BELOW TOP OF FOUNDATION WALL WITH BRICK VENEER.



ADJUSTABLE COLUMN DETAIL
1" = 1'-0"

BASEMENT SQUARE FOOTAGE	
ROOM NAME	AREA, INTERIOR (SQ FT)
BASEMENT	2414
BATH	56
GARAGE	654
UNEXCAVATED	198
UNEXCAVATED	306
TOTALS:	3628

1080 Farnsworth Rd.
Waterville, OH 43566
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Designing
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Potter**

GENERAL CONTRACTOR:

REVISION:

03.04.16 FOR PRICING AND PERTIMS

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A4.0

FOUNDATION PLAN

1/4" = 1'-0"

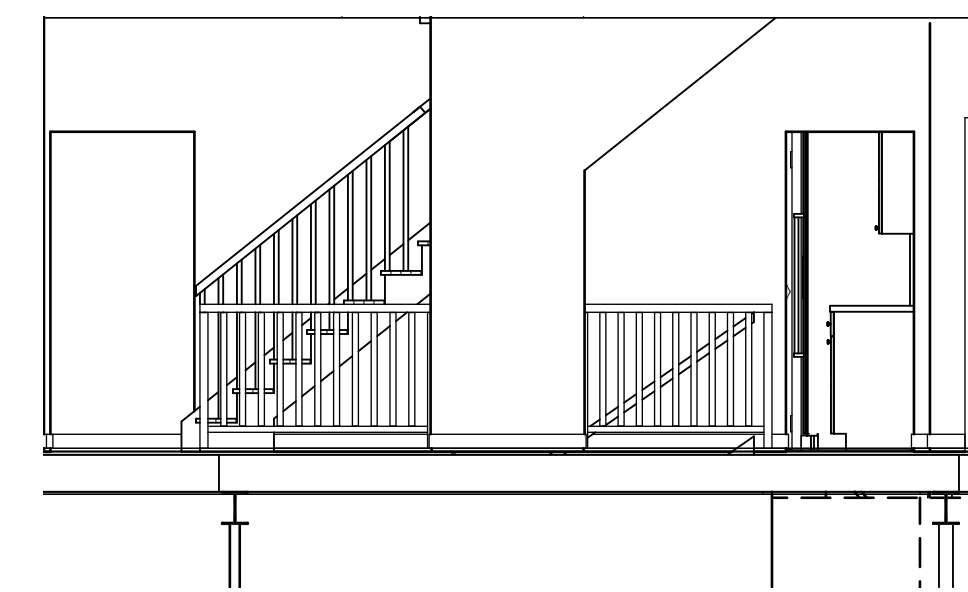


Designing
 Planning
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PROJECT TITLE:

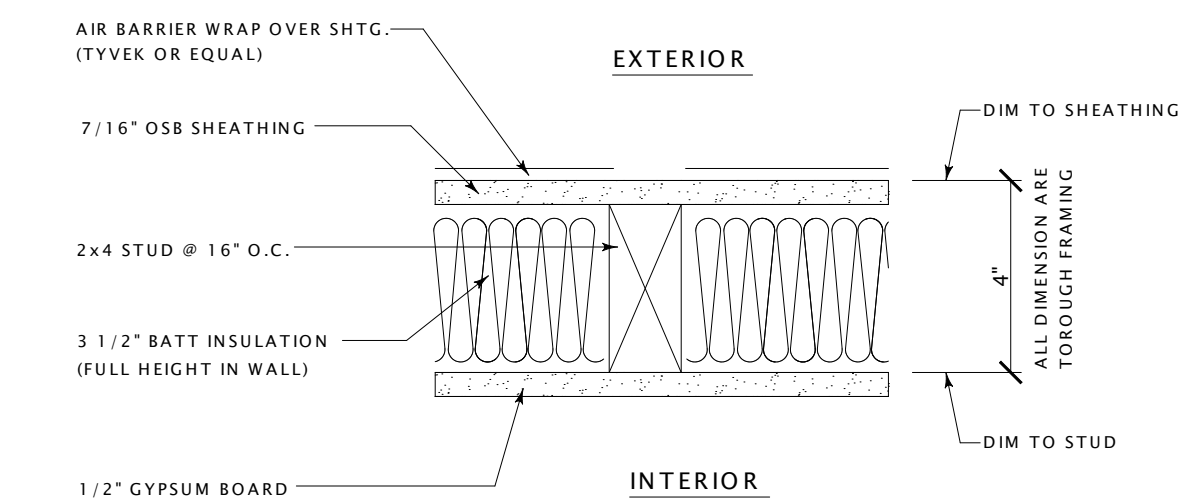
**New Residence
 for Steve & Lisa
 Potter**

GENERAL CONTRACTOR:



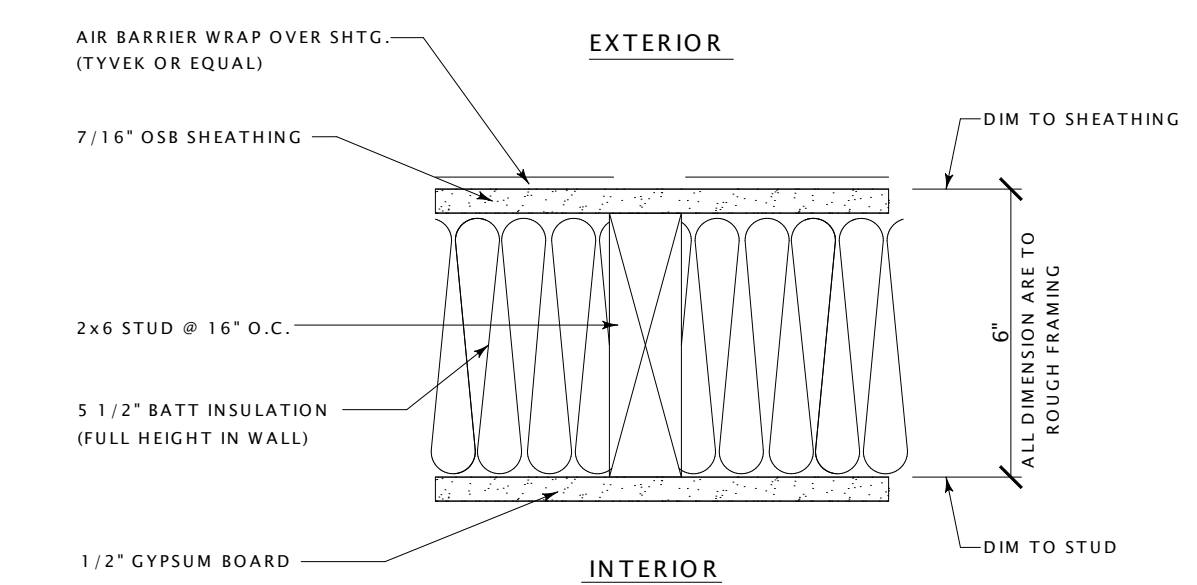
STAIR CASE INTERIOR ELEVATION

1/4" = 1'-0"



INTERIOR WALL DETAIL

3" = 1'-0"



EXTERIOR WALL DETAIL

3" = 1'-0"

REVISION:

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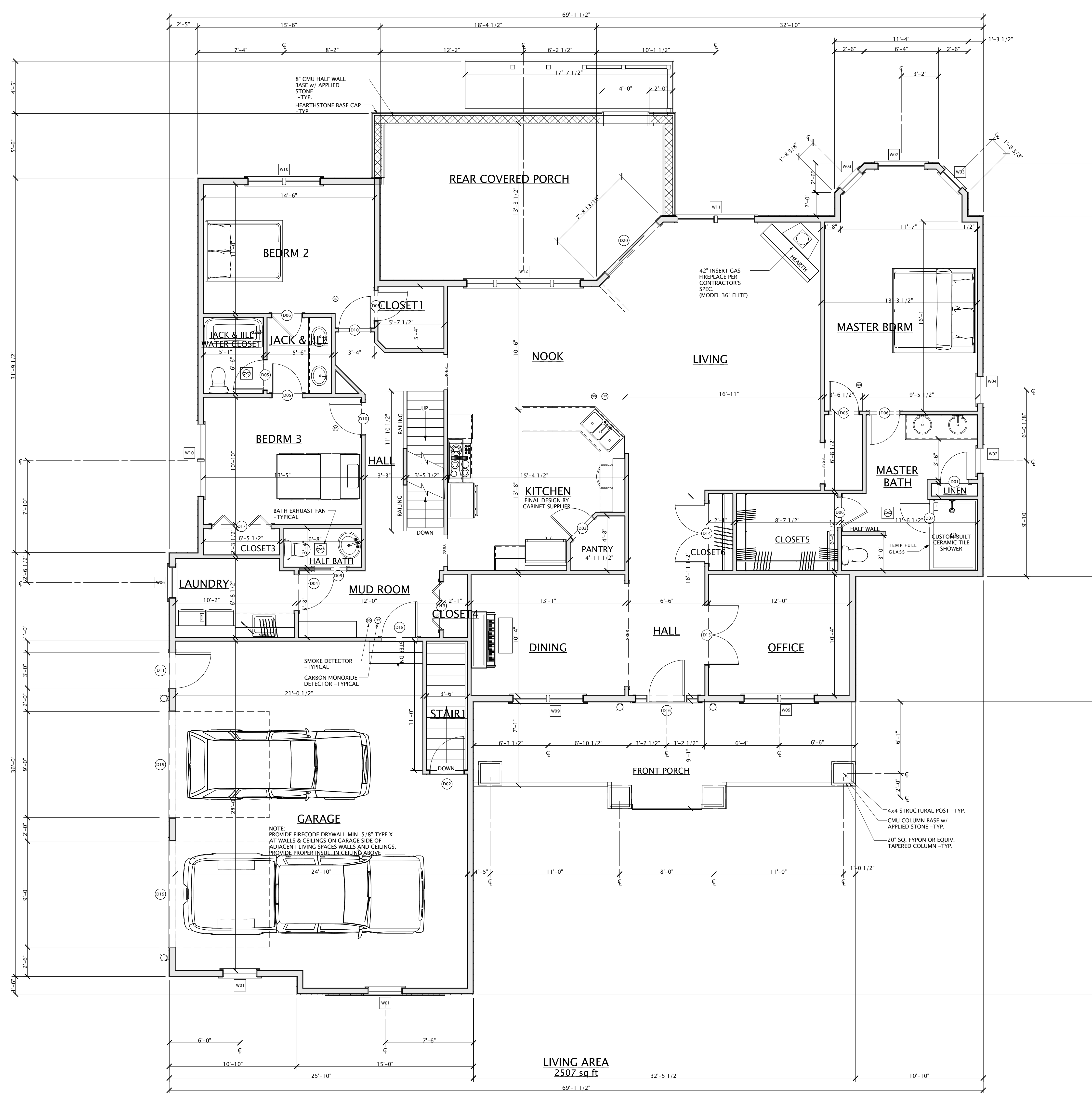
DESIGNER: AJC

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SHEET NO.

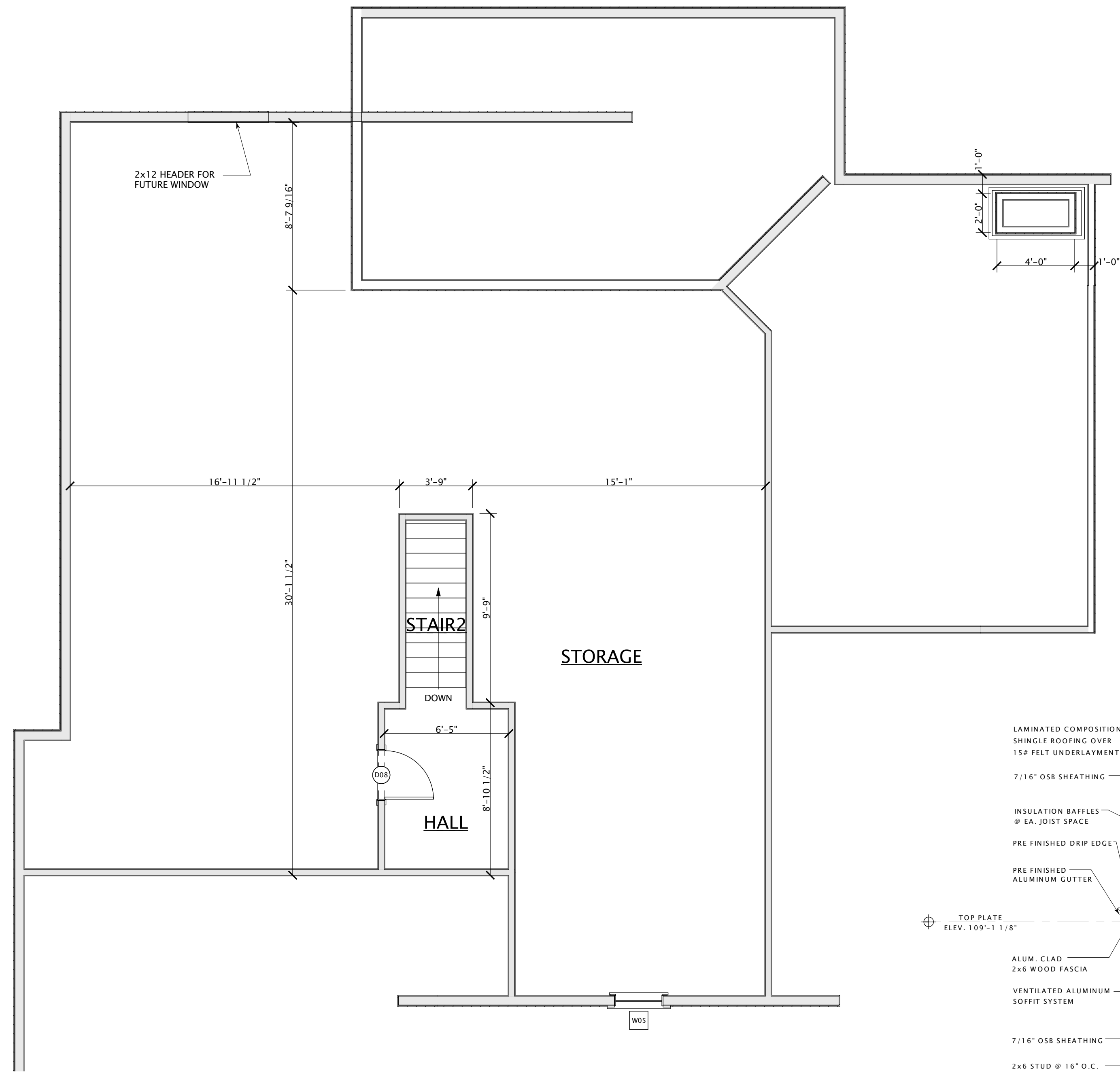
A5.0



LIVING AREA
 2507 sq ft

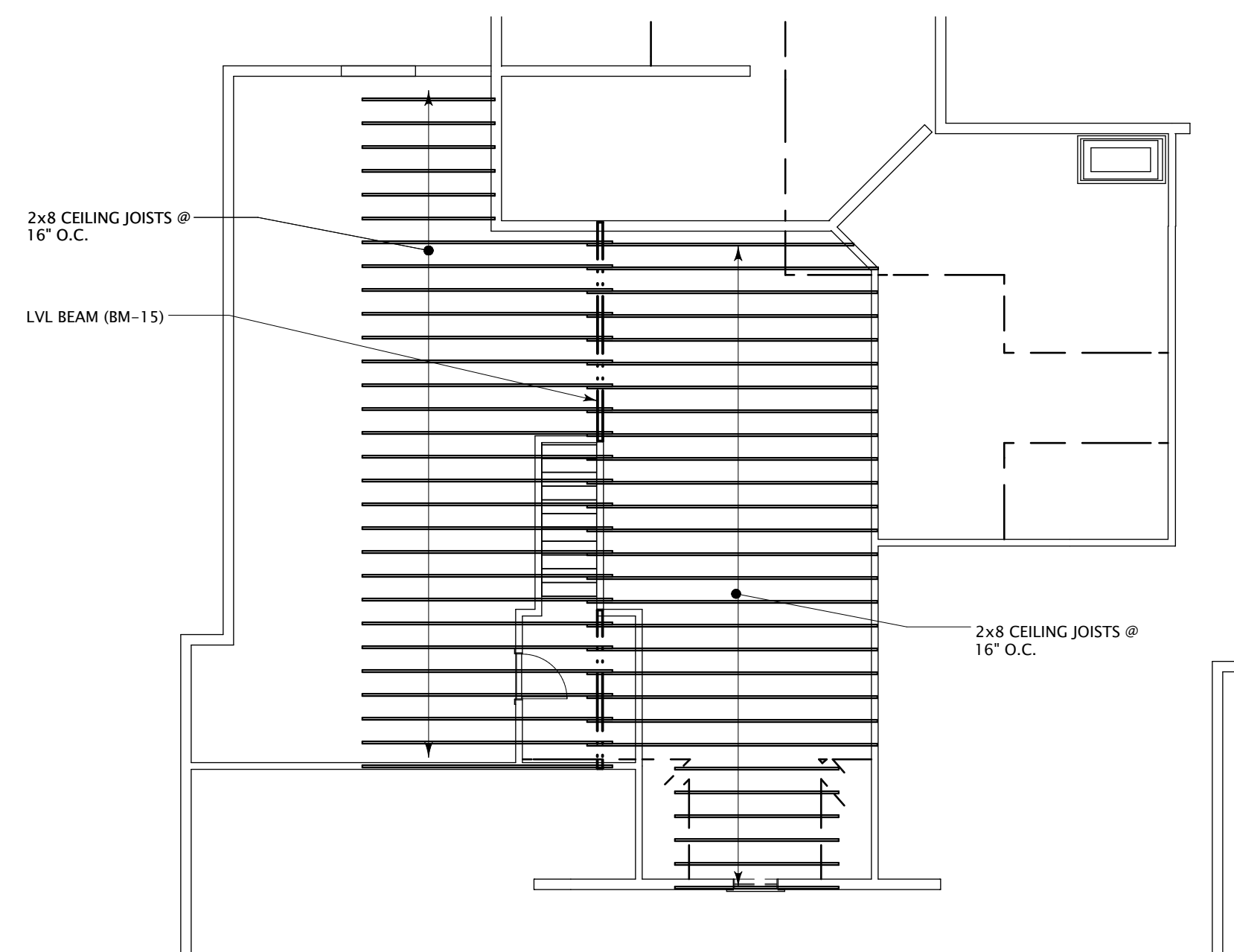
FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR CEILING FRAMING PLAN

1/8" = 1'-0"

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	COMMENTS
W01	2116ZDH	2	1	2116ZDH	35"	74"	36"x75"		DOUBLE HUNG	2X12X39"	(2)
W02	2240DH	1	1	2240DH	26"	48"	27"x49"		DOUBLE HUNG	2X12X30"	(2)
W03	2240DH	2	1	2240DH	26"	56"	27"x57"		DOUBLE HUNG	2X12X30"	(2)
W04	2440DH	1	1	2440DH	28"	48"	29"x49"		DOUBLE HUNG	2X12X32"	(2)
W05	2640DH	1	2	2640DH	30"	48"	31"x49"		DOUBLE HUNG	2X12X34"	(2)
W06	2838DH	1	1	2838DH	32"	64"	33"x65"		DOUBLE HUNG	2X12X36"	(2)
W07	4048EX	1	1	4048EX	48"	56"	49"x57"		FIXED GLASS	2X12X52"	(2)
W08	5640MU	2	0	5640	66"	48"	67"x49"		MULLED UNIT	2X12X70"	(2)
W09	6062MU	2	1	6062	72"	74"	73"x75"		MULLED UNIT	2X12X76"	(2)
W10	6256MU	2	1	6256	74"	66"	75"x67"		MULLED UNIT	2X12X78"	(2)
W11	6758MU	1	1	6758	79"	68"	80"x69"		MULLED UNIT	2X12X83"	(2)
W12	9848MU	1	1	9848	116"	56"	117"x57"		MULLED UNIT	2X12X120"	(2)

NOTE:
1. CONTRACTOR AND WINDOW SUPPLIER TO VERIFY ALL WINDOWS SIZES PRIOR TO ORDERING FINAL WINDOW MANUFACTURER SELECTED BY HOMEOWNERS.

DOOR SCHEDULE											
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	COMMENTS		
D01	1	1	2468 R IN	28"	80"	30"x82 1/2"	HINGED-DOOR P04	2X12X33"	(2)		
D02	1	1	2106R R EX	34"	80"	36"x83"	EXT. HINGED-DOOR F21	2X12X39"	(2)		
D03	1	1	2568 L IN	29 1/16"	80"	31 1/16"x82 1/2"	HINGED-DOOR P04	2X12X34 1/16"	(2)		
D04	1	1	3068 L IN	36"	80"	38"x82 1/2"	HINGED-DOOR P04	2X12X41"	(2)		
D05	4	1	2668 L IN	30"	80"	32"x82 1/2"	HINGED-DOOR P04	2X12X35"	(2)		
D06	3	1	2668 R IN	30"	80"	32"x82 1/2"	HINGED-DOOR P04	2X12X35"	(2)		
D07	1	1	2668 R IN	30"	80"	32"x82 1/2"	HINGED-DOOR S01	2X12X35"	(2)		
D08	1	2	2668 R EX	30"	80"	32"x83"	EXT. HINGED-DOOR F21	2X12X35"	(2)		
D09	1	1	2868 R	32"	80"	66"x82 1/2"	POCKET-DOOR P04	2X12X69"	(2)		
D10	2	1	2868 R IN	32"	80"	34"x82 1/2"	HINGED-DOOR P04	2X12X37"	(2)		
D11	1	1	3068 L EX	36"	80"	38"x83"	EXT. HINGED-DOOR F21	2X12X41"	(2)		
D12	1	0	2868 L EX	32"	80"	34"x83"	EXT. HINGED-DOOR F21	2X12X37"	(2)		
D13	1	1	4068 L/R	48"	80"	50"x82 1/2"	4 DR. BIFOLD-L/LOUVERED	2X12X57"	(2)		
D14	1	1	5068 L/R IN	60"	80"	62"x82 1/2"	DOUBLE HINGED-DOOR P04	2X12X65"	(2)		
D15	1	1	5068 L/R IN	60"	80"	62"x82 1/2"	DOUBLE HINGED-GLASS	2X12X65"	(2)		
D16	1	1	5480	64"	95 7/8"	65"x96 7/8"	MULLED UNIT	2X12X68"	(2)		
D17	1	1	5068 L/R	60"	80"	62"x82 1/2"	4 DR. BIFOLD-L/LOUVERED	2X12X65"	(2)		
D18	1	1	3068 R EX	36"	80"	38"x83"	EXT. HINGED-DOOR F21	2X12X41"	(2)		
D19	2	1	19080	108"	96"	110"x99"	CARAGE-CARAGE DOOR CHDUS	2X12X116"	(2)		
D20	1	1	16068 L EX	72"	80"	74"x83"	EXT. SLIDER-GLASS	2X12X77"	(2)		

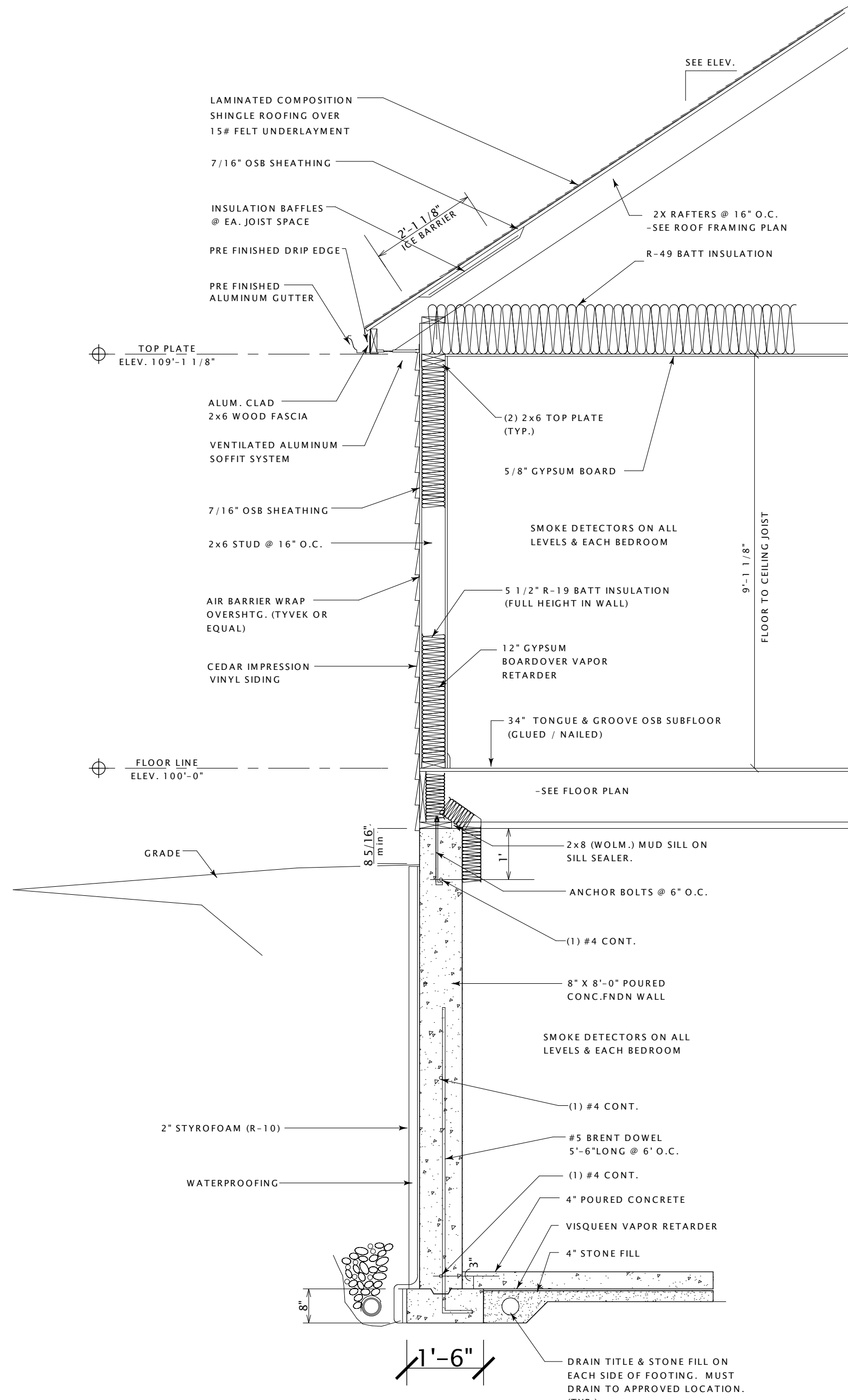
NOTE:
1. FIRE-RATED DOOR TO BE 20 MINUTE METAL DOOR.
2. CONTRACTOR AND DOOR SUPPLIER TO VERIFY ALL DOOR SIZES PRIOR TO ORDERING FINAL DOOR MANUFACTURER SELECTED BY HOMEOWNERS.

ROOM FINISH SCHEDULE				
ROOM NAME	AREA INTERIOR (SQ FT)	DIMENSIONS	AREA STANDARD (SQ FT)	CEILING HEIGHT
BEDRM 1	113	13'-4" X 10'-9"	156	109 1/8"
CLOSET1	29	5'-2" X 5'-3"	35	109 1/8"
CLOSET3	14	6'-5" X 2'-3"	18	109 1/8"
CLOSET4	11	2'-0" X 5'-4"	14	109 1/8"
CLOSET5	55	8'-2" X 6'-6"	61	109 1/8"
CLOSET6	13	2'-0" X 6'-6"	16	109 1/8"
DINING	133	13'-0" X 10'-3"	147	109 1/8"
HALL	109	6'-5" X 17'-1"	119	109 1/8"
HALL	130	6'-8" X 17'-11"	140	109 1/8"
KITCHEN	184	15'-0" X 13'-8"	191	109 1/8"
LAUNDRY	65	10'-1" X 6'-8"	76	109 1/8"
LINEN	4	3'-10" X 1'-0"	6	109 1/8"
LIVING	325	16'-5" X 22'-9"	383	144"
MUD ROOM	71	11'-11" X 6'-3"	78	109 1/8"
MASTER BATH	104	5'-2" X 13'-2"	118	109 1/8"
MASTER BDRM	20	3'-2" X 6'-4"	24	109 1/8"
MASTER BDRM	248	12'-11" X 20'-6"	272	109 1/8"
NOOK	157	15'-2" X 10'-6"	165	109 1/8"
OFFICE	122	11'-11" X 10'-3"	138	109 1/8"
PANTRY	18	4'-2" X 4'-7"	22	109 1/8"
RETURN CHASE	2	0'-2" X 0'-2"	3	109 1/8"
BEDRM 2	161	14'-5" X 10'-11"	183	109 1/8"
HALF BATH	21	6'-2" X 3'-2"	25	109 1/8"
JACK & JILL WATER CLOSET	52	5'-0" X 6'-5"	59	109 1/8"
JACK & JILL	35	5'-5" X 6'-5"	39	109 1/8"
MASTER WATER CLOSET	24	4'-0" X 6'-0"	30	109 1/8"
TOTALS	2280		2508	

SECOND FLOOR ROOM FINISH SCHEDULE				
ROOM NAME	AREA INTERIOR (SQ FT)	DIMENSIONS	AREA STANDARD (SQ FT)	CEILING HEIGHT
HALL	53	6'-4" X 8'-7"	61	97 1/8"
STORAGE	53	15'-0" X 36'-2"	62	97 1/8"
TOTALS	584		621	

COVERED PORCH FINISH SCHEDULE				
ROOM NAME	AREA INTERIOR (SQ FT)	DIMENSIONS	AREA STANDARD (SQ FT)	CEILING HEIGHT
FRONT PORCH	246	32'-4" X 8'-11"	254	116.5 1/8"
REAR COVERED PORCH	302	24'-0" X 13'-2"	321	138"
TOTALS	548		575	

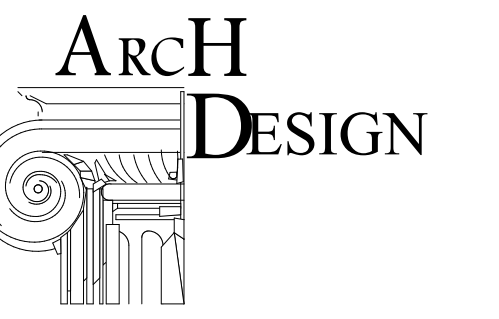
ROOM FINISH SCHEDULE				
ROOM NAME	AREA INTERIOR (SQ FT)	DIMENSIONS	AREA STANDARD (SQ FT)	CEILING HEIGHT
CARAGE	669	24'-9" X 29'-5"	694	
TOTALS	669		694	



TYPICAL WALL SECTION

1/2" = 1'-0"

1080 Farnsworth Rd.
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Designing
Planning
Remodeling

PROJECT TITLE:

**New Residence
for Steve & Lisa
Potter**

GENERAL CONTRACTOR:

REVISION:

03.04.16 FOR PRICING AND PERTIMS

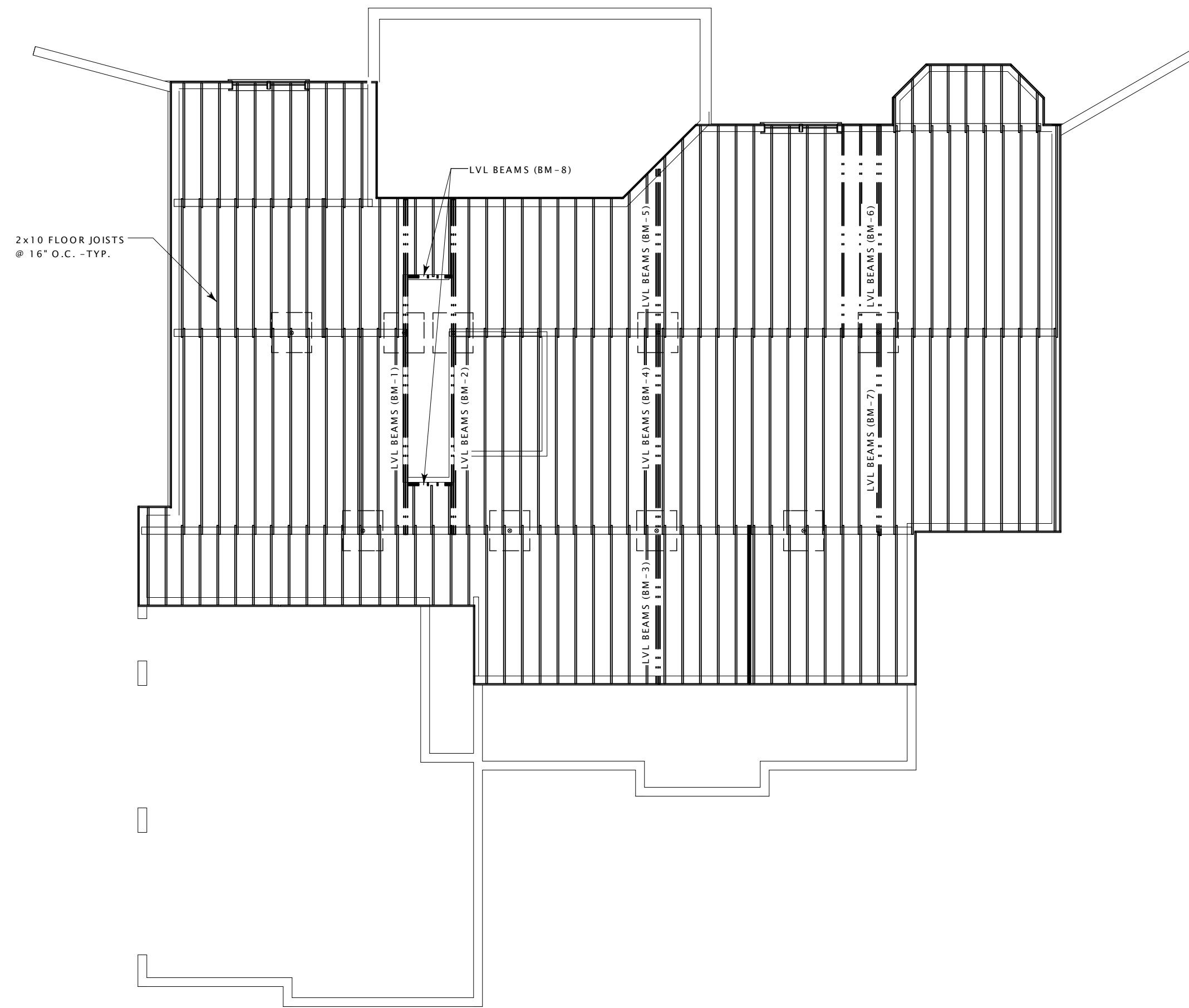
DESIGNER: AJC

APPROVED:

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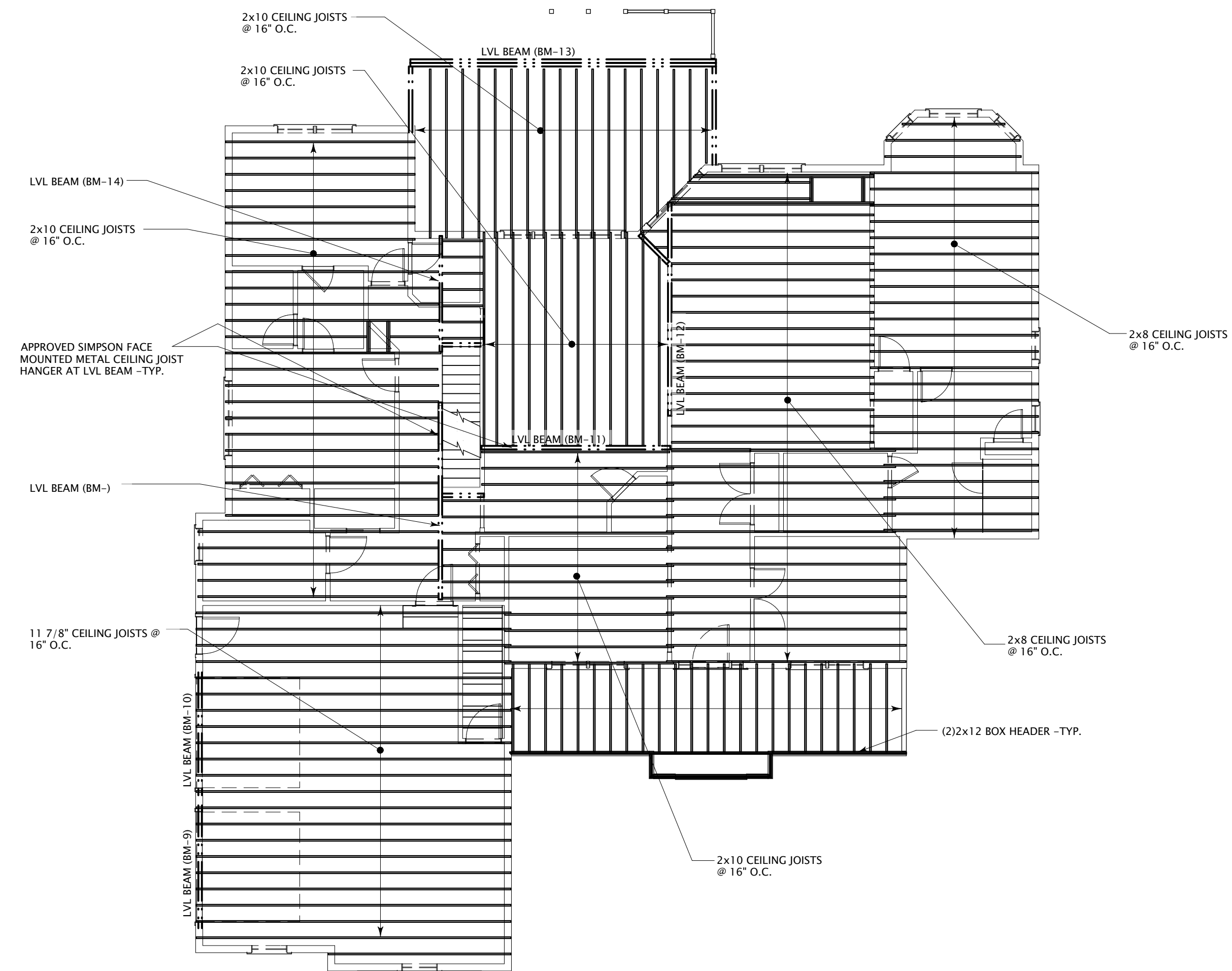
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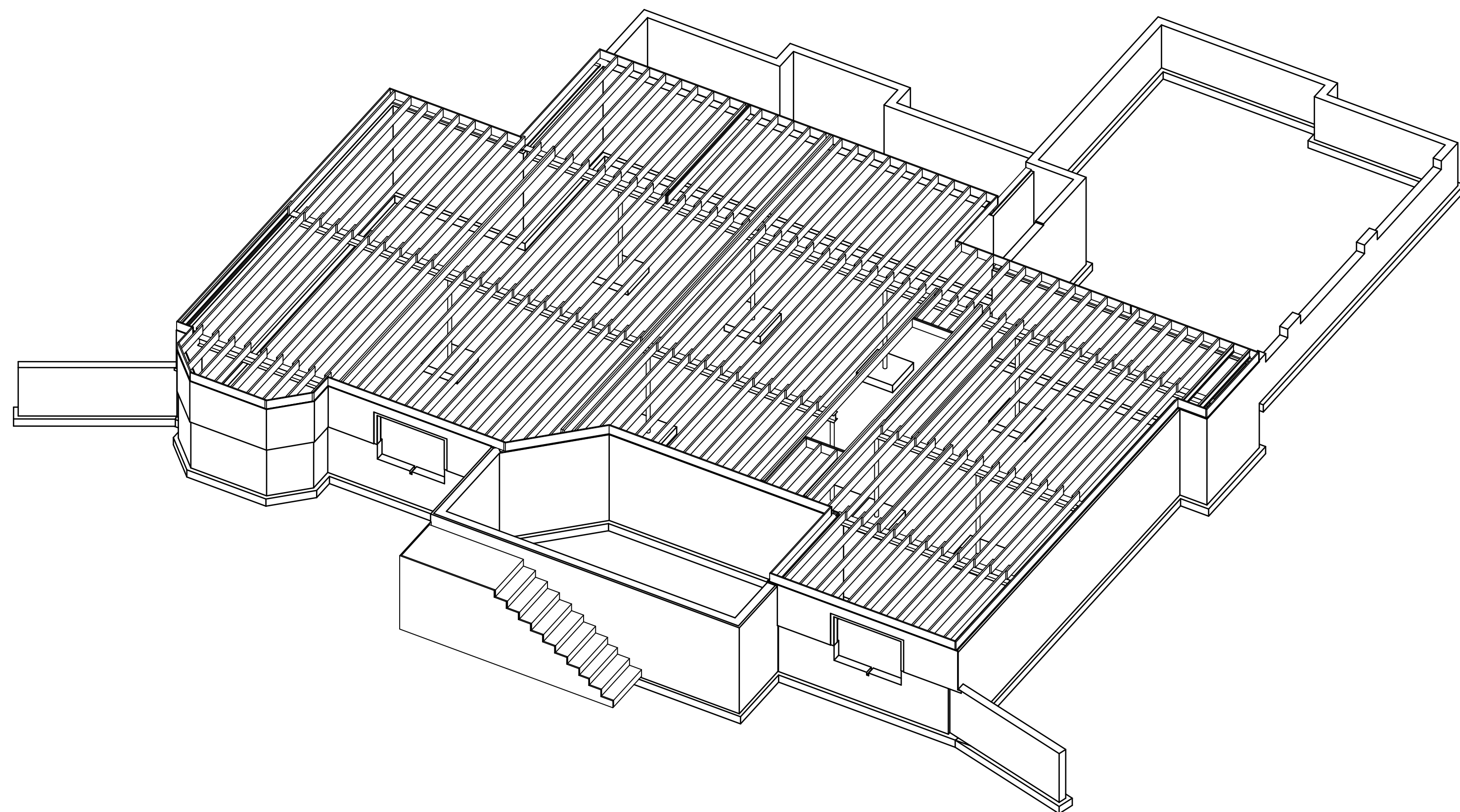
FLOOR FRAMING PLAN

1/8" = 1'-0"



CEILING FRAMING PLAN

1/8" = 1'-0"



FLOOR FRAMING OVERVIEW

N.T.S.

NOTE: RENDERING FOR VISUALIZATION PURPOSES ONLY
-MAY DIFFER SLIGHTLY FROM ACTUAL.

STRUCTURAL NOTES:

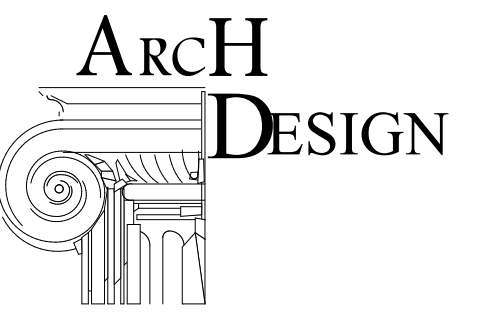
- LIVE LOADS, DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING AND ANY SPECIALTY LOADING CONDITIONS WILL NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION AND ADJUSTMENT TO PLANS MADE ACCORDINGLY. SEE YOUR LOCAL BUILDING OFFICIALS FOR VERIFICATION OF YOUR SPECIFIC LOAD DATA, ZONING RESTRICTIONS AND SITE CONDITIONS.
- ANY FRAMING OR STRUCTURAL MEMBER THAT ARE NOT INDICATED OR SHOWN ON PLAN ARE TO BE SPECIFIED OR SIZED BY OTHERS.
- ALL CONCRETE, WOOD, STEEL AND ETC. STRUCTURAL MEMBERS SHALL BE A GOOD GRADE & QUALITY & MEET ALL NATIONAL STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
- ALL WOOD LAMINATED BEAMS (L.V.L. BEAMS ETC.) ARE TO BE SIZED BY OTHERS IF NOT INDICATED. IF A WOOD BEAM SCHEDULE HAS BEEN PROVIDED AND BEAM SIZES APPEAR IN THAT SCHEDULE, THOSE SIZES WERE PROVIDED BY OTHERS. IN NO CASE WHATSOEVER DOES AARON J CHRISTY ACCEPT ANY LIABILITY FOR ANY BEAM SIZES SPEARING ON THESE PLANS.
- CONTRACTOR TO CONFIRM THE SIZE, SPACING AND SPECIES OF ALL FRAMING & STRUCTURAL MEMBER TO MEET ALL APPLICABLE LOCAL CODES.
- SUBSTITUTION FOR STRUCTURAL MEMBER SHOULD BE MADE ONLY AFTER CONSULTING A QUALIFIED ENGINEER.
- ALL COLUMNS OR SOLID MEMBER SHOULD EXTEND DOWN THROUGH THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT THE OTHER BEARING POINTS DESIGNED TO CARRY THE LOADS.
- ALL LOAD-BEARING HEADERS IN THE EXTERIOR & INTERIOR WALLS OVER DOORS & WINDOWS SHALL BE (2) 2x12'S W/ CONTINUOUS 1/2" PLYWOOD UNLESS OTHERWISE NOTED. ALL HEADER TO HAVE MIN. 3" BEARING EACH END FOR HEADERS OF 6'-0" OR LESS, 4 1/2" BEARING EACH END FOR HEADERS OVER 6'-0".
- MINIMUM JOIST BEARING SHALL BE 1 1/2".
- ALL 2x8 AND GREATER DIMENSIONAL LUMBER SHALL BE S.P.F. GRADE 2 OR BETTER
- DOUBLE FLOOR JOIST UNDER PARTITION WALLS ARE PARALLEL TO THE JOINT DIRECTION.
- ALL WALLS SHALL HAVE DOUBLE TOP PLATES.
- ANCHOR BOLTS SHALL BE 1/2" DIAMETER, MIN. 7" LONG WITH A 2" LEG, 6'-0" C/C MIN. 12" FORM EVERY CORNER.
- PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" C/C MAX.
- ALL VALLEY AND HIP RAFTERS OVER 20'-0" SPAN ARE TO BE LAMINATED VENEER LUMBER (L.V.L.)
- 2x4 STUD WALLS AT 16" C/C THROUGHOUT UNLESS OTHERWISE NOTED. PAN, TRAY AND CATHEDRAL CEILING ARE PER PLANS OR BUILDER.
- BEAM POCKET TO BE MIN. 4" DEEP FOR BEAM BEARING OR 3 1/2" WITH METAL SHIMS 6" WIDE. 4" CONCRETE OR SOLID BLOCK BACK OF POCKET. MORTAR POCKET SOLID AND MIN. (2) COURSES BLOCK BELOW BEAM.
- PROVIDE APPROVED JOIST HANGERS AT ALL FLUSH BEAMS FOR JOIST CONNECTION.
- ALL ROOF, CEILING AND FLOOR OPENINGS TO BE DOUBLE FRAMED MINIMUM OR AS SHOWN ON THE DRAWINGS.
- ALL JOISTS SHALL HAVE WEB REINFORCING AT BEARING LOCATIONS AND SHALL BE BRACED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- TONGUE AND GROOVE (T&G) SUBFLOOR TO BE GLUED & NAILED UNLESS OTHERWISE NOTED.
- WHEN USED: TRUSSES
ALL WOOD TRUSS DESIGNS AND FABRICATIONS MUST BE PRE-ENGINEERED BY TRUSS MANUFACTURER.
- PROVIDE MINIMUM SOLID 2x8 BLOCKING UNDER FULL POSTS OR BUILT UP POSTS FROM FOUNDATION WALL OR STEEL BEAM TO ORIGIN OF POST LOADING.
- FLOOR JOISTS SHALL BE CROSS-BRIDGED WITH 1x3 BRIDGING AT INTERVALS NOT TO EXCEED 96" AND DOUBLE NAILED AT EACH END.
- STRUCTURAL CALCULATIONS ARE BASED ON THE FOLLOWING LIVE & DEAD LOADS:
 - A) FLOOR JOISTS FIRST FLOOR - 50 PSF
 - B) FLOOR JOISTS SLEEPING AREAS - 40 PSF
 - C) ATTIC FLOOR (LIMITED STORAGE) - 30 PSF
 - D) CEILING JOISTS (NO STORAGE) - 15 PSF
 - E) ROOF RAFTERS (SUPPORTING D/W) - 45 PSF
 - F) ROOF RAFTERS (NO CEILING LOAD) - 35 PSF

STRUCTURAL FRAMING MEMBER SCHEDULE

DESIGN VALUES			
MODULUS OF ELASTICITY	E = 2.0 x 10 ⁶ psi		
BENDING STRESS	F _b = 3100 psi		
SHEAR	F _v = 290 psi		
COMPRESSION PERPENDICULAR TO GRAIN	F _{c⊥} = 750 psi		
COMPRESSION PARALLEL TO GRAIN	F _c = 3000 psi		
MARK	MEMBER SIZE	LOCATION	REMARKS
BM-1	xx	xx	-
BM-2			
BM-3			
BM-4			
BM-5			
BM-6			
BM-7			
BM-8			
BM-9			
BM-10			
BM-11			
BM-12			
BM-13			
BM-14			
BM-15			

ALL WOOD LAMINATED BEAMS (L.V.L. BEAMS, GLUE LAM. BEAMS ECT.) ARE TO BE SIZED BY OTHER. IF BEAM SIZES APPEAR IN THE ABOVE SCHEDULE, THOSE SIZES WERE PROVIDED BY OTHERS; IN NO CASE WHATSOEVER DOES THE DESIGNER ACCEPT ANY LIABILITY FOR ANY BEAM SIZES APPEARING ON THESE PLANS.

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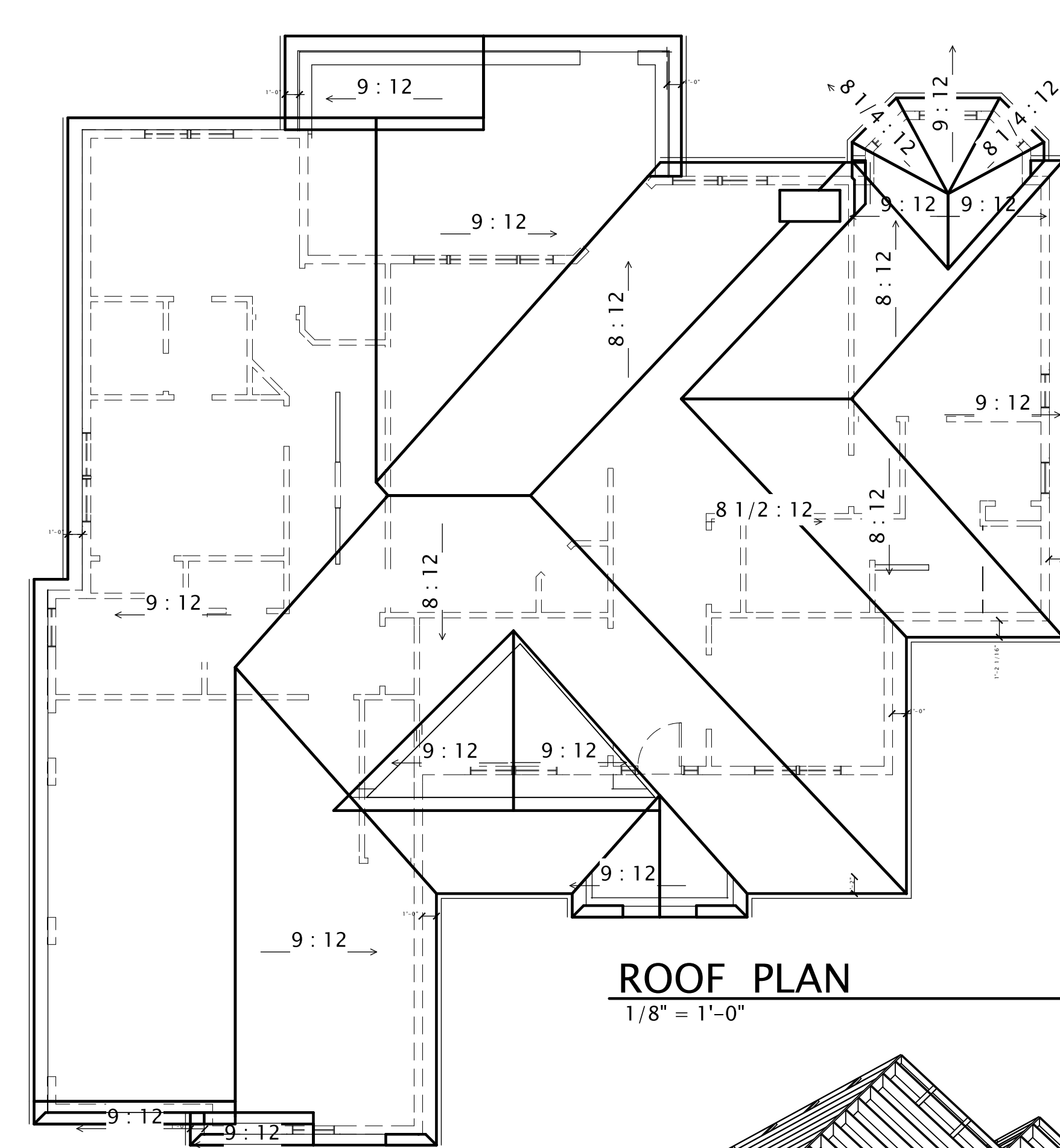
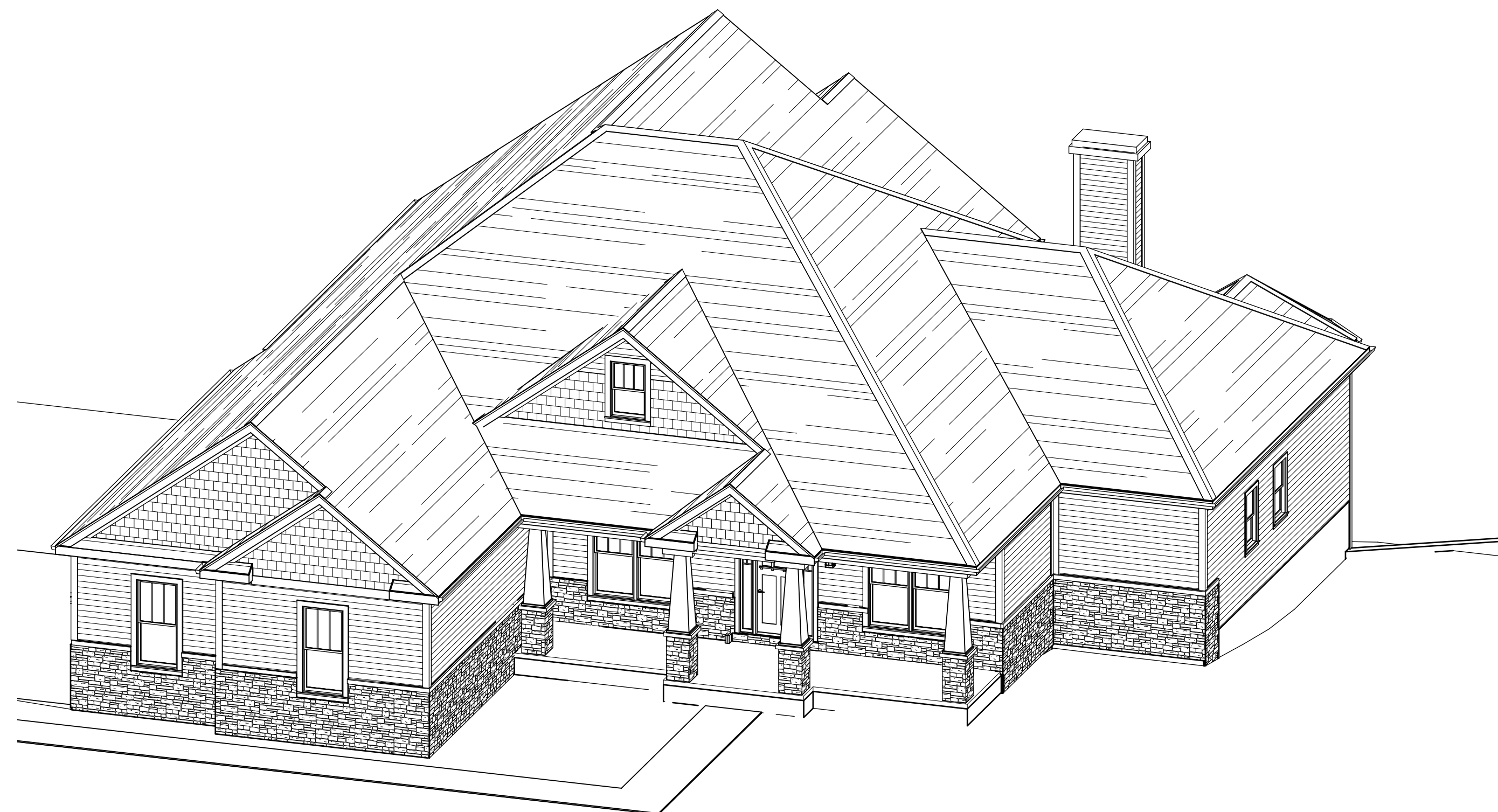
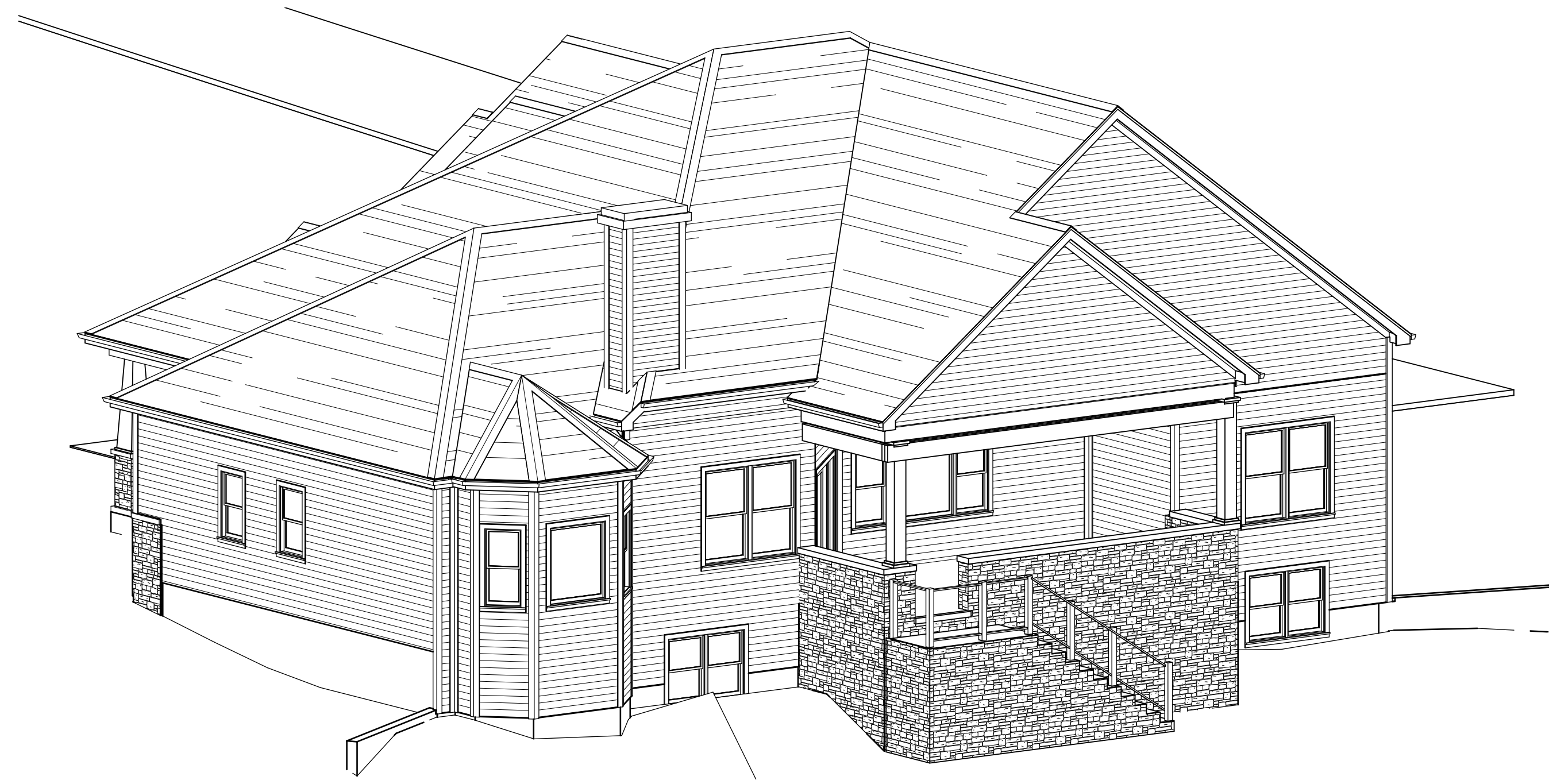
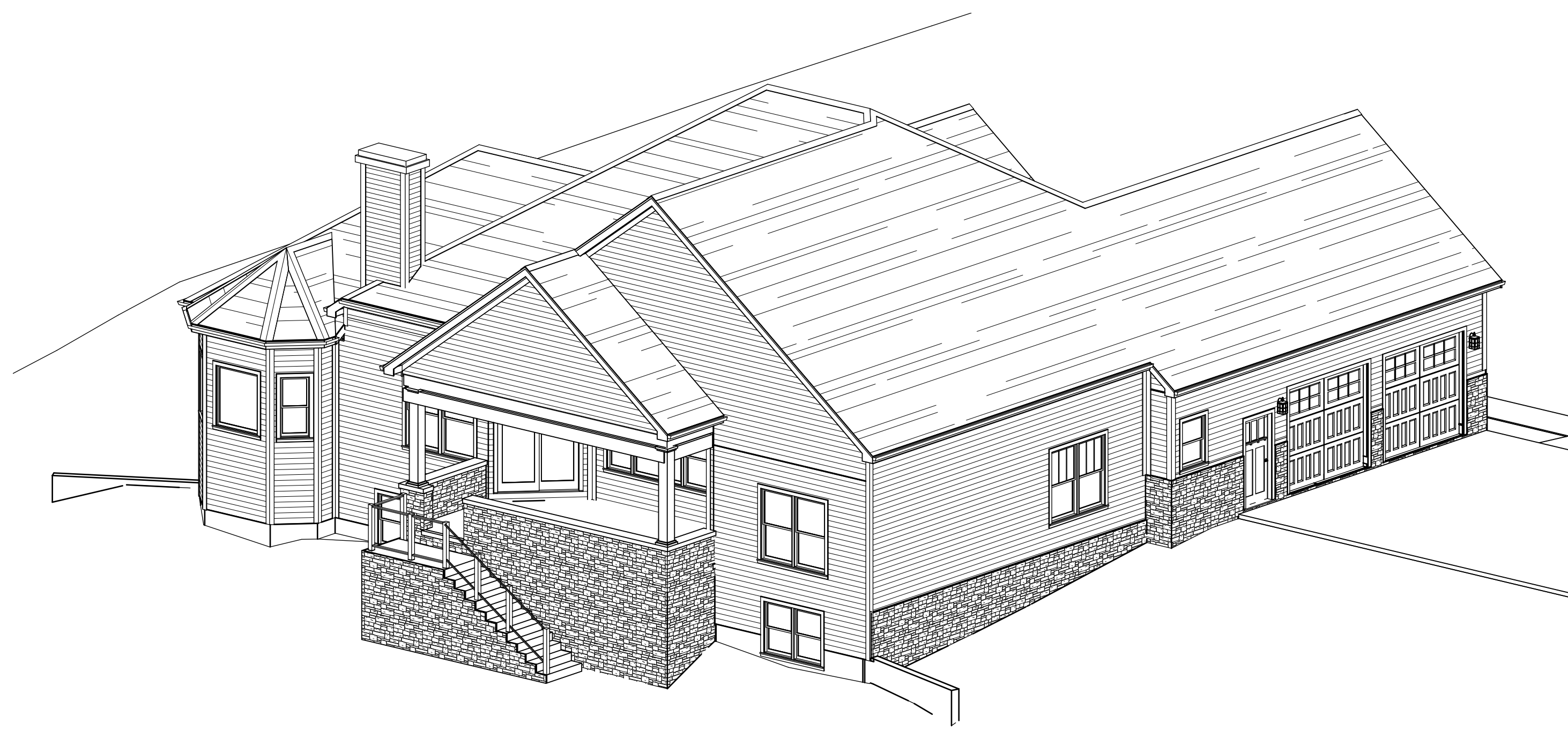
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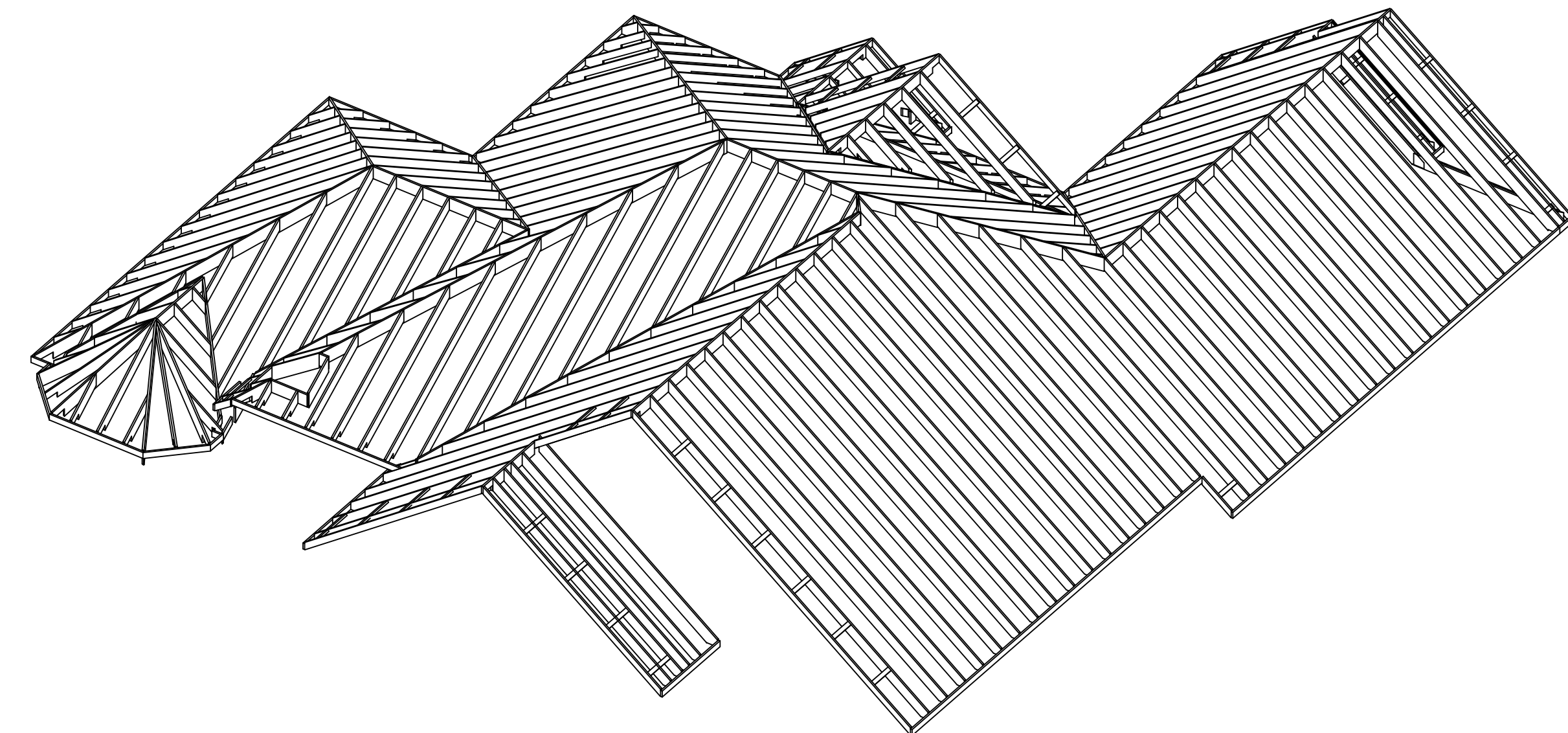
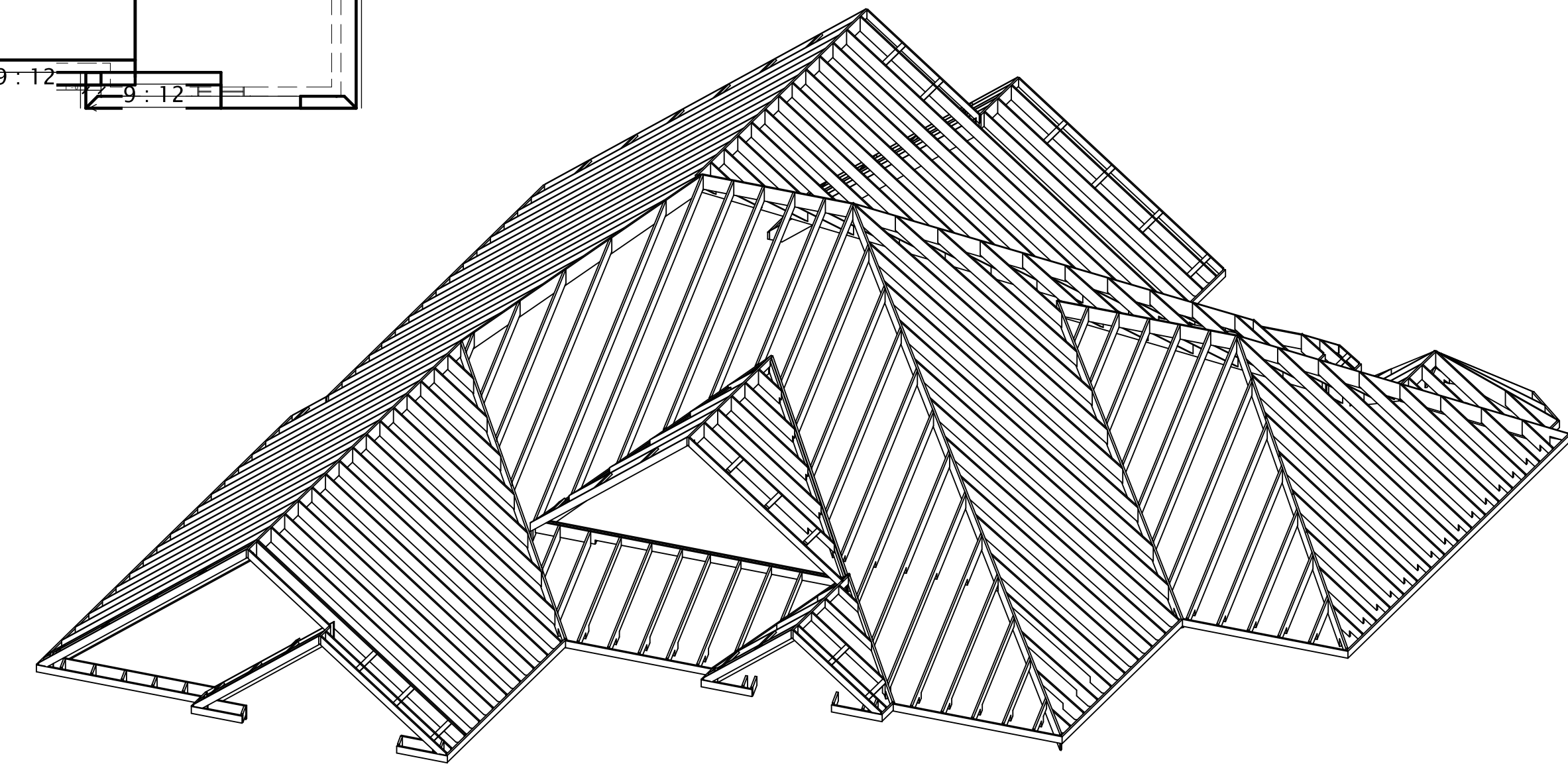
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ROOF PLAN
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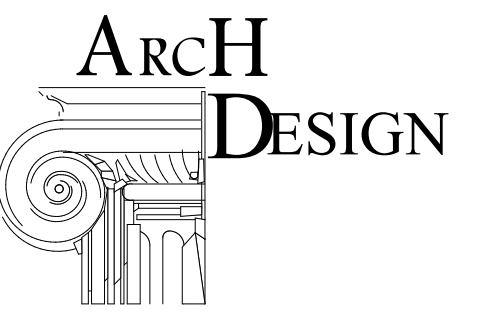


ROOF FRAMING OVERVIEW

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